

GREENVILLE, S.C. 29601
P. O. Box 969
Greenville, S.C. 29601

MORTGAGE

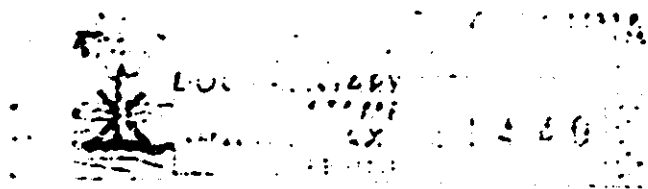
THIS MORTGAGE is made this 19th day of January 1979, between the Mortgagor, St. Claire Caddell, Jr. and Glynda T. Caddell (herein "Borrower"), and the Mortgagee, Carolina National Bank, a corporation organized and existing under the laws of the United States of America, whose address is P. O. Box 969, Greenville, South Carolina (herein "Lender").

WHEREAS, Borrower is indebted to Lender in the principal sum of Thirty-Six Thousand and no/100 Dollars, which indebtedness is evidenced by Borrower's note dated January 19, 1979 (herein "Note"), providing for monthly installments of principal and interest, with the balance of the indebtedness, if not sooner paid, due and payable on February 1, 2009.

To SECURE to Lender (a) the repayment of the indebtedness evidenced by the Note, with interest thereon, the payment of all other sums, with interest thereon, advanced in accordance herewith to protect the security of this Mortgage, and the performance of the covenants and agreements of Borrower herein contained, and (b) the repayment of any future advances, with interest thereon, made to Borrower by Lender pursuant to paragraph 21 hereof (herein "Future Advances"), Borrower does hereby mortgage, grant and convey to Lender and Lender's successors and assigns the following described property located in the County of _____ State of South Carolina:

All that piece, parcel or lot of land situate, lying and being on the northwestern corner of the intersection of Mayfair Lane and North Pleasantburg Drive (S.C. Highway 291) in the City of Greenville, County of Greenville, State of South Carolina, and known and designated as the property of St. Claire Caddell, Jr. and Glynda T. Caddell on a plat prepared by Carolina Surveying Company dated January 16, 1979, and recorded in the RMC Office for Greenville County in Plat Book 62, at page 10, said lot having such notes and bounds as shown thereon.

This is the identical property conveyed to the Mortgagors herein by deed of Russell C. Lash and Orpha J. Lash, dated January 17, 1979, to be recorded herewith.



which has the address of 1801 N. Pleasantburg Drive, Greenville, S.C.

(herein "Property Address")

To HAVE AND TO HOLD unto Lender and Lender's successors and assigns, together with all the improvements now or hereafter erected on the property, and all accessories, rights, appurtenances, tenements, minerals, oil and gas rights and profits, water, water rights, and water stock, and all taxes now or hereafter attached to the property, all of which, including replacements and additions thereto, shall be and remain a part of the property covered by this Mortgage, and all of the foregoing together with said property or the leasehold estate of this Mortgage is on a leasehold estate herein referred to as the "Property".

Borrower covenants that Borrower is lawfully seized of the estate therein conveyed and has the right to mortgage, grant and convey the Property, that the Property is unencumbered, and that Borrower will warrant and defend generally the title to the Property against all claims and demands, subject to any exceptions, reservations, or conditions listed in a schedule of exceptions to cover up, in and to the Property.

6328 RV-2.1